



Water Conservation Plan

As of October 2022



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Purpose

It is very important that Pahrump Utility Company, Inc. (PUCI), as a water provider, implement water conservation to help preserve our most important natural resource, our underground water supply. This Conservation Plan will provide everyone within PUCI's service territory with a stepping stone to protecting our underground water source.

Conservation Measures

Pahrump Utility Company Inc.'s Water Conservation Requirements are set up to help promote the preservation of the underground aquifer. PUCI's water conservation requirements are listed below.

Landscapes

- All plants and landscapes must be:
 - Drought Tolerant
 - Desert Friendly
 - Water Conscious
 - On Pahrump Utility Company Inc.'s (PUCI's) Approved List (See Appendix A for approved list)

Turf Restrictions

- 1,500 square feet is the maximum turf allowed for any single-family residence but in no case shall turf exceed:
 - 50% of landscape in the landscaped rear or side yard area.
 - Turf in the front yard is prohibited, except for artificial.
- Turf shall be at least 3 feet from all buildings and walls.
- Planting cool season grass, such as Rye and Fescue, from seed is prohibited from May through August. Laying sod is permitted.

Water Application

- Automatic irrigation systems are required for all common area, residential, and commercial planting areas.
- All common area, residential units, and commercial areas shall comply with watering schedules issued by Pahrump Utility Company, Inc. which sets forth the days, time of day, and duration of time allowed for outdoor watering.
- Overhead spray shall be minimized and restricted to turf and flower beds.
 - All other areas of landscape must use drip lines.
- If spray heads are required next to roads or paths they shall be low angle (10%) nozzles.
 - Large radius spray heads are prohibited along roads and paths.



- All spray heads are prohibited from spraying water directly onto any roads, paths, or other non-turf surface.
- All spray heads are prohibited from causing runoff onto any roads, paths, or other non-turf surface.

Watering Restrictions

- From November 1 through February watering is limited to only one day a week.
- From September 1 through October and March 1 through April watering is limited to only three days a week.
- From May 1 through August watering is limited to any day of the week.

Additional Watering Restrictions

- From May 1 until Oct. 1, sprinkler watering is prohibited from 11 a.m. to 7 p.m.
- Watering with a handheld hose and supervised testing of irrigation systems are allowed anytime. Watering new or reseeded landscapes daily for up to 30 days is allowed once per calendar year.
- Drip watering is permitted any day of the week, as long as it does not exceed the number of assigned watering days for that season.
- Assigned watering groups are mandatory for all customers. Using sprinklers on days other than those assigned is considered water waste and may result in a water waste fee.
- In the summer, watering restrictions allow landscape watering any day of the week through August. PUCI recommends watering four days per week and increasing the schedule only if the landscape needs more water.

For lawns, use the cycle and soak method for sprinkler watering. On assigned watering days, water in three 4-minute cycles, with about an hour between each cycle if using pop-up sprinklers. Water for about 12 minutes each watering cycle if using rotating sprinkler heads.

Drip irrigation is usually needed less frequently than sprinkler irrigation. Run times vary based on flow rates of emitters.

Common Areas over 2 acres may apply for a waiver to certain restriction.

Low Flow Fixtures

- All fixtures must be Low Flow Fixtures as required by Nye County Ordinance at the time of installation.

Nye County Water Conservation Standards (17.04.740)

In 2017, Pahrump Utility assisted Nye County in drafting a revised Landscape Ordinance (17.04.740: Landscaping) to help promote water conservation. This effort was at the



direction of the Nye County Water District through its Groundwater Management Plan. This ordinance is listed below.

17.04.740: LANDSCAPING:

A. Purpose: The purpose of this section is to create visually attractive desert landscapes along streets and commercial corridors, provide shade across large expanses of pavement, provide landscaped areas around multi-family buildings and reduce the impacts of nonresidential uses on residences. All required landscaping must consist of live native, xeric and drought tolerant plants to minimize outdoor water use on landscapes. Outdoor sculptures, shade structures, decorative hardscapes and rock work are encouraged.

B Scope: Wasting water is unlawful per NRS 534.0165, 534.020(2), 534.070, and NAC 704.567. Since Pahrump is in a desert with scarce water supplies, the use of xeric and native plants is required. For the purposes of this section, "xeric landscaping" shall mean utilizing plants that are drought tolerant, Great Basin desert compatible and zero to moderate water use. Use of treated recycled water for irrigation is required wherever such water is available. The use of artificial turf is also permitted. Recommended plants, trees and shrubs are included in Appendix G of the Ground Water Management Plan. Existing single-family residences and vegetable gardens are specifically exempt from these restrictions.

C. Landscaping Plan:

1. Landscape plans must incorporate water conserving designs which includes appropriate soil, soil amendments, mulching and drainage. All applicants for building permits for construction that have an approved and certified site development plan must submit and have approved by the zoning administrator, a landscaping plan prior to issuance of a related building permit.

2. The landscaping plan must show:

- a. Location of buildings and structures on the property;*
- b. The common names of the plants to be used; if there is no common name or if that name does not clearly indicate the species, the botanical name must be used;*
- c. Planned location of all plants;*
- d. The type and location of watering system/lines, soil amendments and how installation and maintenance will be performed;*
- e. The parties responsible for maintenance of the landscaping;*
- f. The square footage for all landscaping on the site; dimensions of each landscaping area must be provided, along with the quantities and locations of trees and shrubs, and their mature height and spread;*
- g. The location of all underground utility easements, septic, leach field, and any existing or proposed overhead power lines;*
- h. The estimated total landscape water use.*



- i. Type of groundcover, any portion of a landscape area not planted must be covered with decorative rock, bark, mulch or other suitable material for reducing dust and evaporation and improving the aesthetic appearance of the area.*
- j. Salt Cedar plants must be identified on the property if any exist and shall be removed. See G. Prohibited Plantings.*

D. Installation and Maintenance:

- 1. Plantings must not obstruct the clear sight triangle views of drivers, see Figure 1 below.*
- 2. Landscaping must be installed according to the approved plan; installation must be completed at the time of the related building's occupancy.*
- 3. Site Grading, must be designed to minimize irrigation water runoff onto streets and to maximize the use of stormwater for on-site irrigation.*
 - a. The slope of turf grass areas must exhibit minimal slope or none at all.*
- 4. Water conserving irrigation system must be installed along with an automatic rain sensors. All irrigation must be adequately maintained. Landscaping which dies must be replaced by the owner as expeditiously as possible, but in no case longer than sixty (60) days after notification.*
- 5. Appropriate soil, soil amendments and top mulch to absorb and retain water and encourage the formation of deep root systems;*
- 6. Plants with similar water requirements should be grouped on the same irrigation line.*

E. Landscaping Area Requirements:

- 1. Commercial, Multi-Family and Industrial: The total landscaped area required must equal ten percent (10%) minimum of the net lot area. For the purposes of this section, "net lot area" means the total area of the lot minus:*
 - a. The area of the lot covered by buildings;*
 - b. The portions of the lot that are fully screened from view from any adjacent lot or public right of way by an opaque wall or fence at least six feet (6') high, no landscaping will be required except buffer landscaping, as applicable;*

(1) Chain link fence with slats does not constitute acceptable full screening;

F. Turf Restrictions:

- 1. 1,500 square feet is the maximum turf area allowed for single family residential parcels,*
- 2. Turf in the front yard is prohibited, except for artificial,*
- 3. Turf must be placed at least 3-feet from all buildings, structures and walls, except for artificial,*



- 4 Turf must be at least 15-feet from the pavement of all streets, except for artificial,
5. Planting cool season grasses such as Rye and Fescue from seeds is prohibited May through August. Laying sod is permitted,
6. All new golf courses must limit turf to 3-5 acres of turf per hole, watered with effluent reuse water to the extent possible,
7. Farming, ranching and livestock pastures using permitted water rights and in existence prior to the adoption of this ordinance are exempt from turf grass restrictions.

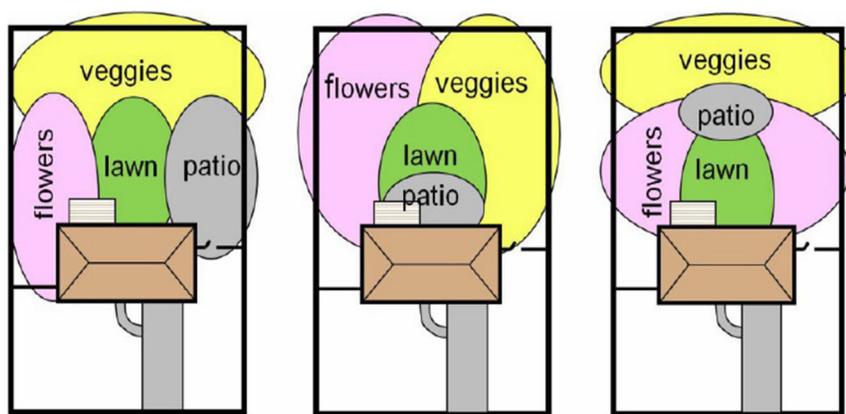


Figure 1: Examples of residential backyard layout with minimized turf grass area

G. Prohibited Plantings:

1. Salt cedar (tamarisk) bushes or trees are specifically prohibited
 - a. Salt cedars of all sizes must be removed from a property prior to any development.
2. Planting cool season grasses such as Rye and Fescue from seed is prohibited from May through August.

H. Clear Sight Areas: Clear sight areas must be maintained at all entrances and exits of parking areas and driveways in accordance with Table VIII: Sight Triangle Easement Requirements of the Standard Details and Specifications for Public Improvements within the Pahrump Regional Planning District.

1. No walls, fences, trees, shrubs or any other object other than street hardware may be constructed or installed within the sight triangle easement, unless maintained at less than thirty-six inches (36") in height measured from the top of adjacent asphalt, curb, gravel or pavement street surface.

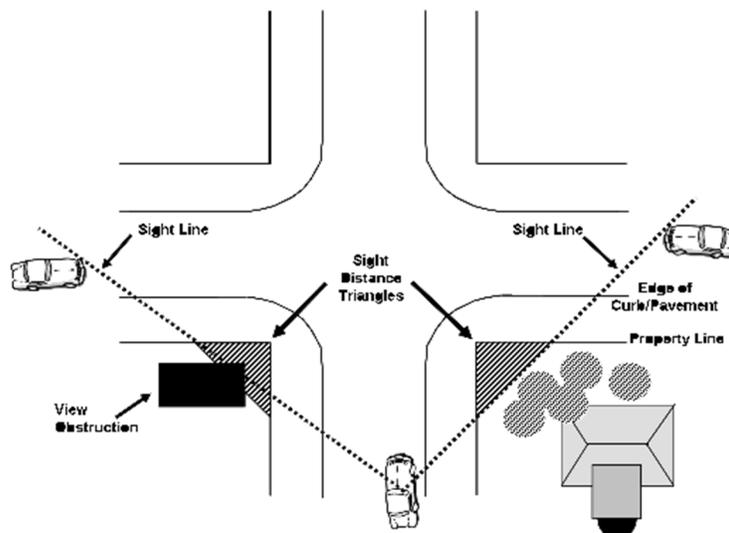


Figure 2: Clear Sight Triangle Diagram

I. *Landscape Buffering and Screening Requirements: Landscape buffer areas are required between residential uses and nonresidential uses. Landscape buffers may be crossed by driveways connecting to adjacent land. No parking is permitted within a required landscape buffer area. The buffer landscaping must consist primarily of drought tolerant trees of an approved variety, which trees must be at least eight feet (8') high at time of planting and capable of reaching a height at maturity of at least twenty feet (20'). Spacing of the trees must be equal to seventy five percent (75%) of the mature canopy diameter of the trees. In no case shall the width of the on-site landscape buffer be less than the requirements listed below.*

1. *Locations and minimum widths:*

a. *Front: Ten feet (10') minimum.*

b. *Side: Five feet (5'). The landscape buffer may be relocated if the lot line is within a common access easement or where overhead powerlines exist.*

c. *Rear: Six feet (6'). The landscape buffer may be relocated if the lot line is within a common access easement or where overhead powerlines exist.*

d. *The buffer landscaping between residential and nonresidential property lines must be maintained on the nonresidential side of the boundary.*

e. *When adjacent properties have similar zoning (i.e., commercial adjacent to commercial or industrial adjacent to industrial) the side and rear landscape buffers may be replaced with a block wall.*

f. *No trees shall be planted in any landscaping buffer that is located below overhead power lines.*

(1) *Trees may be relocated to a different landscape buffer within the property, provided the total number of trees required is provided.*

2. *Screened areas: When properties are developed and the public cannot access the rear of*



the building or lot, the rear landscaping buffer and the portion of the side landscaping buffer that will not be accessed or viewed by the public may be removed or replaced with a block wall.

a. Where parking or vehicle circulation areas are adjacent to the landscaping strip, a minimum six foot (6') high opaque wall or fence shall also be required, located along the property line, to visually screen the parking or circulation area from any adjacent residential zone; chain link fence with slats shall not constitute acceptable screening.

b. Where perimeter walls are used surrounding residential developments in village residential, multi-family, mobile home park or mixed use zoning districts a minimum fifteen feet (15') of perimeter landscaping (which may include the sidewalk) must be installed, but shall not be turf.

(1) Irrigated landscaping that could adversely impact a block wall may be relocated away from the block wall and all other structures on the property, provided a soils report is submitted with the site development plan.

(2) The soils report submitted must be prepared by a licensed geotechnical or civil engineer licensed in the state of Nevada, and should indicate minimum separation from irrigation and any block walls or other structures on the property.

J. Special Landscape Standards:

1. Commercial, Industrial and Multi-Family Housing greater than four units must include landscaping as part of their design as shown on a plan submitted pursuant to NCC 17.04.950 and must include live native, xeric and drought tolerant plants and be designed to minimize outdoor water use on landscapes. Outdoor sculptures, shade structures, decorative hardscapes and rock work are encouraged. Existing native trees and shrubs must be preserved to the fullest extent possible. Trees, shrubs and other vegetative landscaping must be trimmed and maintained so as not to interfere with the ability of vehicles to park in any provided parking spaces.

a. Off Street Parking Area Trees: Quantity and distribution of trees shall be as follows:

(1) One tree is required per twenty (20) parking spaces;

(2) The minimum size of tree planters within off street parking areas shall be thirty six (36) square feet per tree;

(3) Trees must be drought tolerant shade trees, capable of achieving a mature canopy diameter of at least twenty five feet (25').

(4) The total number of trees may be reduced by 20% if 10% or more of the required parking lot is finished with a permeable surface or pavers.

b. Ground Cover: To minimize water consumption, the use of vegetative ground cover other than turf grass is encouraged. Any portion of a landscape area not planted must be covered with decorative rock, bark, mulch or other material suitable for reducing dust and evaporation and improve the aesthetic appearance of the area.

(1) Any nonliving ground cover areas must be clearly delineated on the landscaping plan.



c. Water Features, Ponds and Artificial Lakes:

- (1) Decorative water features and ponds are limited to less than 50 square feet surface area.*
- (2) Bodies of water used for recreation purposes, (excluding swimming pools and spas) that are not one hundred percent (100%) reclaimed water are to be authorized by conditional use permit.*
- (3) Swimming pools and spas are encouraged to be covered to mitigate evaporation when not in use.*

d. Artificial Outdoor Landscaping: When developer's wish to use artificial turf landscaping, the following minimum guidelines must be followed:

- (1) Artificial outdoor turf must be constructed of a low density polyethylene material with a melting point equal to or in excess of one hundred fifty degrees Fahrenheit (150°F), a softening point equal to or in excess of one hundred twenty degrees Fahrenheit (120°F), and a brittle point equal to or in excess of zero degrees Fahrenheit (0°F).*
 - (2) Artificial outdoor turf shall be combined of natural grass colors to mirror living vegetation. The primary color must be green. Product must have UV resistant pigmentation and UV stabilization to prevent fading and allow for longevity.*
- e. Artificial outdoor landscaping products must be installed and anchored so as to withstand ninety (90) mile per hour wind loads, and anchored to reasonably withstand storm event flooding.*
- f. Artificial outdoor landscaping products that are broken, faded, damaged or missing must be replaced immediately.*
- g. The use of plastic, vinyl, polyester, silk or glass in artificial outdoor landscaping products is prohibited.*

K. Water Conservation Standards – New Construction:

1. Wasting water is unlawful per NRS 534.0165, 534.020(2), 534.070, and NAC 704.567:

- a. Automatic irrigation systems are required for all common areas, residential, agricultural and commercial landscaped areas,*
- b. Overhead spray must be minimized and restricted to turf grass and flower beds, all other landscaped areas must use low volume drip lines,*
- c. Large radius spray heads adjacent to roads or sidewalks are prohibited,*
- d. Runoff or spraying water directly onto roads, paths, sidewalks or other non-turf areas is prohibited,*
- e. Overhead spray watering during high wind events is prohibited,*

L. Watering Restrictions and Watering Schedules – New Construction:



1. All common areas, residential dwellings and commercial areas must comply with watering schedules issued by Nye County Water District (NCWD) which sets forth the days, time of day and duration of time allowed for outdoor watering.

a. From November 1 through February watering is limited to one day a week.

b. From September 1 through October and March 1 through April, watering is limited to three days per week.

c. From May 1 through August, watering is allowed seven days of the week.

(1) Summer watering restrictions allow landscape watering any day of the week through August

(2) Watering newly installed sod is allowed daily for up to 30 days once per calendar year.

2. Additional Watering Restrictions:

a. From May 1 until October 1 sprinkler and drip system watering is prohibited from 11 am to 7 pm.

Enforcement

- Pahrump Utility Company, Inc. will enforce all conservation and watering requirements for developments within its service territory.
- Pahrump Utility Company, Inc. requires Developers to place PUCI's water conservation measures in its CC&R's and Design Guidelines.
- The Board of Directors of the Home Owner Associations for each Development shall be responsible for enforcing all conservation and watering requirements that are in the Design Guidelines and CC&R's.
- Nye County by statute NRS 450.141(6) can adopt ordinances to enforce the Conservation Plan and establish fines for the violation of the ordinances. Nye County can also hire employees to enforce the provisions of the plan.
- The Nye County Ordinance has the following enforcement provisions and penalties currently in effect.

17.04.070: ENFORCEMENT AND PENALTIES:

A. Any person, firm or corporation who, after fourteen (14) days of receiving written notification of violation of any of the provision(s) of this chapter, knowingly continues to violate said provision(s) of this chapter is guilty of a misdemeanor.

B. Each such person is guilty of a separate offense for each and every day or portion thereof during which violation of any of the provisions of this chapter is committed, continued or permitted.



C. Upon conviction of any violation of this chapter, such person(s) shall be punished by a fine of not more than one thousand dollars (\$1,000.00) or by imprisonment for not more than six (6) months in the Nye County jail, or by both such fine and imprisonment.

D. Any building or structure hereafter set up, erected, built, moved or maintained or any use of property hereafter contrary to the provisions of this chapter shall be, and the same is declared to be, unlawful and a public nuisance, and the county may immediately commence action or actions, proceeding or proceedings, for the abatement thereof in a manner provided by law and shall take such other steps and shall apply to such court or courts as may have jurisdiction to grant such relief as will abate or remove such building, structure or use and restrain and enjoin any person from setting up, erecting, building, moving and maintaining any such building or structure, or using any property contrary to the provisions of this chapter. (Ord. 285, 2004)

Feasibility of Charging Variable Rates to Encourage Conservation

PUCI researched the feasibility of charging variable rates to encourage conservation in 2007-2008. After this research, PUCI applied to the Public Utilities Commission of Nevada (PUCN). Hearings were conducted to allow public comment. The PUCN researched the Utility's financial records to verify that a change in the rate would be acceptable. The variable rates were approved; higher rates are set for water usage that reflects use in excess of what is normal for drought tolerant landscaping. This variable rate is comparable to the variable rates that the other water utilities in the Pahrump Valley charge.

Water Management

Leak Identification Procedures

PUCI currently inspects the infrastructure on a regular basis for leaks and inaccurate meters. PUCI employees drive the service territory inspecting the service area for any leaks or abnormalities. It also asks all of its customers to report any water leaks to PUCI immediately.

When PUCI reads meters, PUCI looks for abnormalities in water use. If there seems to be an abnormality then PUCI compares water use for that month to previous years to verify that there is not a large change in water use. If there is a large change in water use then, PUCI will reread the meter to verify the initial meter read was accurate. PUCI may contact the customer to discuss the change in usage. PUCI also may inspect the property, from the street, and see if there is a change in landscape, evidence of a new pool or other improvement, that would cause a change in water use. If it is apparent that the meter has



failed, PUCI will replace the meter. If the meter has not failed, PUCI may contact the customer to discuss the increased use to determine if a leak is present.

Reuse

PUCI currently uses Rapid Infiltration Basins (RIBs) with treated effluent water. In the future PUCI may use effluent to irrigate turf for parks, schools, golf courses or other public facilities if those types of facilities are built within its service territory and reuse would be efficient.

Contingency Plan for Drought Conditions

Drought

A condition in which the combination of many complex factors acting and interacting with the environment results in water supplies not being replenished normally. For purposes of this Plan, a “drought” occurs when existing water supplies cannot meet established demands for a period of time.

No Drought

A condition where no drought declaration of PUCI is in effect

Drought Watch

A first-level drought declaration of PUCI based upon current or projected reductions in the community’s renewable water supply.

During drought watch conditions:

- (a) Single-family and multifamily developments may be prohibited from installing new turf in common areas of residential neighborhoods. This restriction shall not apply to turf area to be installed in public parks or privately owned and maintained parks, including required usable open space in residential developments, provided that such turf area has no dimension of less than ten feet.
- (b) The installation of new turf in non-residential developments may be prohibited, unless specifically permitted by the approval of a land use application or permit for construction.

Drought Alert



A second-level drought declaration of PUCI based upon current or projected reductions in the community's renewable water supply.

During drought alert conditions:

- (a) In single-family residential development, the installation of new turf shall not exceed fifty percent of the gross area of the side and rear yard (up to a maximum of five thousand square feet). No turf area may be installed in the side or rear yard if any dimension thereof is less than ten feet.
- (b) During the months of May through August, the planting of cool-season grasses (i.e. tall fescue or rye grass) is prohibited. The planting of warm-season grasses (i.e. bermuda and zoysia) is permitted.
- (c) The restrictions applicable to nonresidential development during drought watch conditions shall apply during drought alert conditions as well.

Drought Critical

A third-level drought declaration of PUCI based upon current or projected reductions in the community's renewable water supply.

During drought critical conditions:

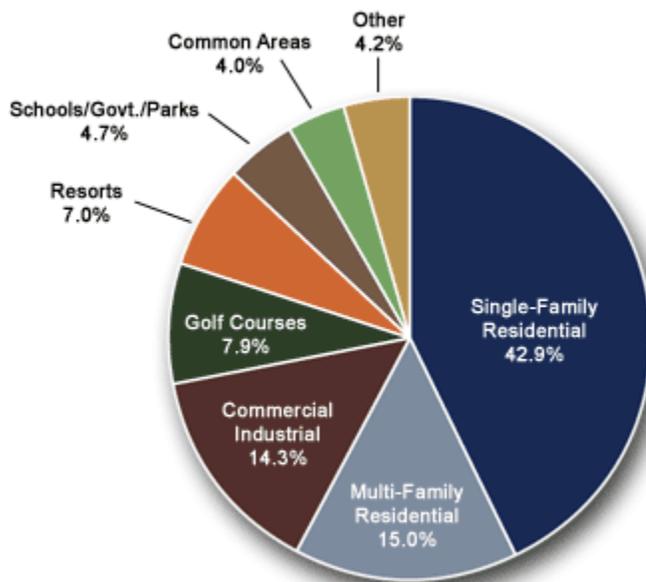
- (a) No new turf may be installed without a waiver.
- (b) PUCI will prohibit watering of turf until the declaration is lifted.
- (c) The restrictions applicable during drought alert conditions shall apply during drought critical conditions as well.

Estimate of Amount of Water Saved by Plan

- PUCI estimates that by following this water conservation plan a customer could save water consumption by more than 20%.

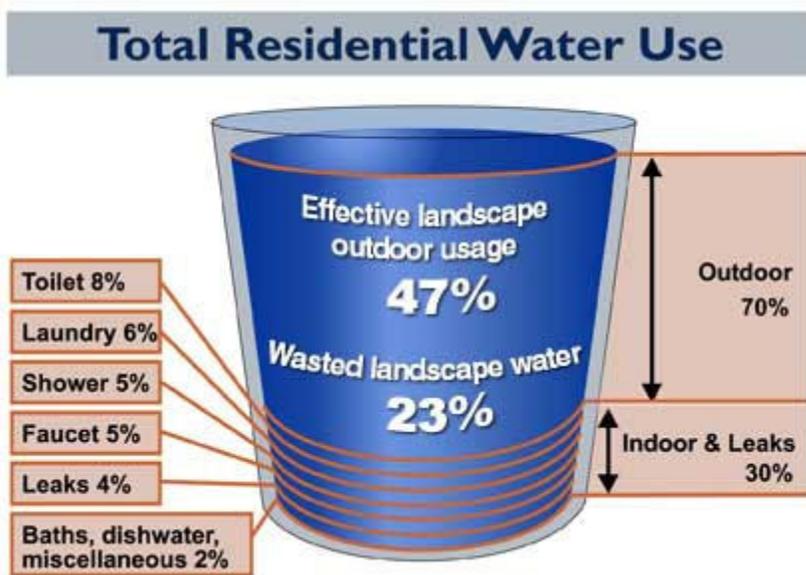


Annual Water Use in Southern Nevada

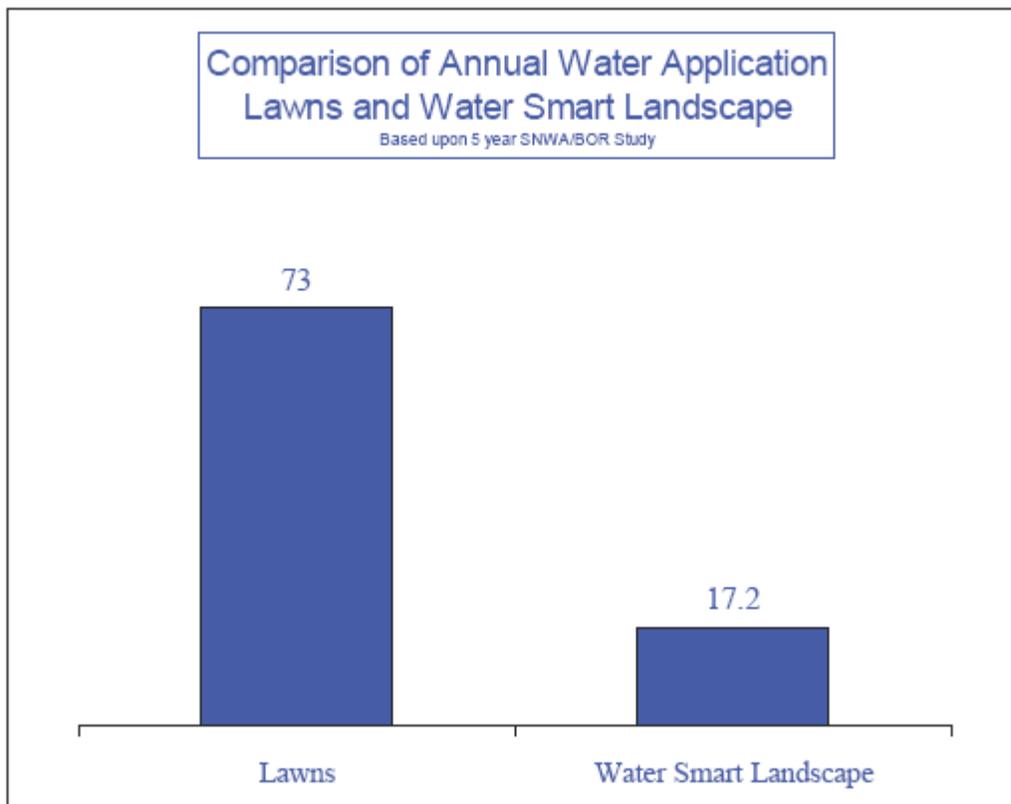


Based upon 2004 municipal metered potable and non-potable water use in the Southern Nevada Water Authority's metered service area.

- Residential water customers use 57.9 percent of Southern Nevada's drinking water.



- Based upon the Southern Nevada Water Authority's research, Residents use 70% of their drinking water outdoors, &
- 20% to 30% of the water residents consume is lost to leaks or water waste.



Public Education

In order to promote public awareness, PUCI distributes its Water Conservation Requirements to all new customers and developers. Developers are also required in their annexation agreement, to implement CC&R's and design guidelines that adopt PUCI's water conservation measures. Currently the Southern Nevada Water Authority (SNWA) has a vast amount of information on water conservation and PUCI recommends that its customers visit www.snwa.com.

Increase Public Awareness of Need to Conserve Water

- PUCI is committed to increasing public awareness of the need to conserve water. PUCI has participated in Nye County's Groundwater Management Plan Committee meetings to address water conservation needs in the Pahrump Valley.
- PUCI continues to participate in Nye County' & the Nye County Water District's meeting and efforts to promote water conservation.



Encourage reduction in the size of lawn and use of plants that are adapted to arid and semi-arid climates

- PUCI has adopted water conservation measures that not only encourages reduction in lawn size but also restricts water use in the developments and by its customers in its service territory.

Measures to Evaluate Effectiveness of Plan

In 2007, prior to implementing a Water Conservation Plan, the average residential usage was 311 gallons per day (GPD) per residence or ~128.5 gpd per capita. In 2011, after implementing a Water Conservation Plan and variable rates, the average residential usage dropped ~10% to 279 GPD per residence or ~115 gpd per capita. In 2016, prior to the adoption of the revised Nye County Landscape Code, the Tesora Subdivision average residential usage was 304 gpd or ~125.5 gpd per capita. With the adoption of the revised Nye County Landscape Code, the new homes built in the Tesora Subdivision are very water efficient and have reduced water usage in the neighborhood substantially. The average residential usage in the Tesora Subdivision dropped 21.4% to 239 gpd or ~99 gpd per capita in 2017. This is a sign that this Conservation Plan has been effective in helping PUCI's customers conserve water. PUCI continues to review and evaluate the average monthly consumption by its customers each year to determine if the conservation plan is promoting a reduction in average usage.

Schedule for Conservation Plan

If approved by the Public Utility Commission, this plan will be implemented upon approval. It will be updated every five years.

Procedure for Interested Person to Submit Recommendation or Views

Nye County Planning, the Nye County Board of County Commissioners, and the Nye County Water District have been provided with the plan and PUCI has integrated their recommendations. Developers who are annexed into PUCI's service territory will be provided with PUCI's conservation plan.

Plan Available for Inspection at PUCI's Office

- PUCI's conservation plan is available on PUCI's website www.PahrumpUtility.com and at its office in Pahrump, Nevada.



Plan May Be Revised To Reflect the Changing Needs and Conditions of the Service Area and Will Be Updated Every Five Years

- PUCI will review annually its conservation measures and conservation plan to see if additional conservation measures are needed. The plan will be updated every five years to comply with NRS 540.

Conclusion

To reduce water consumption the conservation measures set forth in this plan should be followed. By following the plan, our underground water source can be more efficiently used and the underground aquifer preserved for generations to come.



Appendix A

Recommended for the Pahrump Area by the Division of Forestry

	<u>Common Name</u>	<u>Botanical Name</u>
D	Apache Plume	<i>Fallugia paradoxa</i>
D	Caragana "Pygmy"	<i>Caragana arborescens</i>
D	Caragana	<i>Caragana arborescens</i>
	Euonymus	<i>Euonymus japonica</i>
D	Feathery Cassia	<i>Cassia artemisioides</i>
	Globe Mallow	<i>Sphaeralcea ambigua</i>
	Honeysuckle	<i>Lonicera tatarica</i>
D	Indian Rice Grass	<i>Achnatherum hymenoides</i>
	Lilac	<i>Syringa vulgaris</i>
D	Myrtle	<i>Myrtus communis 'compacta'</i>
	Nanking Cherry	<i>Prunus tomentosa</i>
D	Sand Cherry	<i>Prunus besseyi</i>
D	Woods Rose	<i>Rosa woodsii</i>
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D	Cat Claw Acacia	<i>Acacia greggii</i>
D	Chaste Tree	<i>Vitex agnus-castus</i>
*D	Chilean Mesquite	<i>Prosopis speciosa</i>
	Desert/Wash Willow	<i>Chilopsis linearis</i>
D	Honey Mesquite	<i>Prosopis juliflora</i>
D	Screw Bean Mesquite	<i>Prosopis pubescens</i>
	Yellow Bird of Paradise	<i>Caesalpinia gilliesii</i>
<hr/>		
	Aleppo Pine	<i>Pinus halepensis</i>
	Arizona Ash	<i>Fraxinus velutina</i>
D	Arizona Cypress	<i>Cupressus arizonica</i>
D	Black Locust	<i>Robinia pseudoacacia</i>
D	True Chinese Elm	<i>Ulmus parvifolia</i>
*	Chir Pine	<i>Pinus roxburghii</i>
	Desert Olive	<i>Forestiera neomexicana</i>
	Eldarica Pine (Mondell)	<i>Pinus eldarica</i>
	Honey Locust	<i>Gleditsia triacanthos</i>
	Italian Cypress	<i>Cupressus sempervirens</i>
	Mimosa	<i>Albizia julibrissin</i>
D	Russian Olive	<i>Eleagnus angustifolia</i>
	She-Oak	<i>Casuarina equisetifolia</i>
	Siberian Crabapple	<i>Malus baccata</i>
<hr/>		
*	Eucalyptus	<i>Eucalyptus microtheca</i>
*D	Blue Palo Verde	<i>Cercidium floridum</i>
*D	Mexican Palo Verde	<i>Parkinsonia aculeata</i>
D	Sweet Acacia	<i>Acacia Smallii</i>

* **Not Recommended for all areas of Pahrump**

D **Drought Tolerant**



Appendix A (Cont.)

Other Plant Species Recommended for Southern Nevada

<u>Common Name</u>	<u>Botanical Name</u>
Acacia	<i>Acacia Redolens</i>
Acacia, Mugla	<i>Acacia aneura</i>
Acacia, Shoestring	<i>Acacia stenophylla</i>
Acacia, Twisted	<i>Acacia schaffneri</i>
Acacia, White Thorn	<i>Acacia constricta</i>
Ash, Arizona	<i>Fraxinus velutina</i>
Ash, Littleleaf	<i>Fraxinus greggii</i>
Bottle Tree	<i>Brachychiton populneus</i>
Chitalpa	<i>X Chitalpa tashkentensis</i>
Coolibah Tree	<i>Eucalyptus microtheca</i>
Deer Grass	<i>Muhlenbergia</i> Var.
Dwarf Coyote Bush	<i>Baccharis Centennial</i>
Elderberry, Mexican	<i>Sambucus nigra ssp. cerulea</i>
Elm, Lacebark	<i>Ulmus parvifolia</i>
Feathery Cassia	<i>Cassia Wislezini</i>
Firethorn	<i>Pyracantha coccinea</i>
Goldenrain Tree	<i>Koelreuteria paniculata</i>
Heavenly Bamboo	<i>Nandina Domestica</i>
Kidneywood	<i>Eysenhardtia orthocarpa</i>
Laurel, Bay	<i>Laura nobilis</i>
Lemon Bottlebrush	<i>Callistemon citrinus</i>
Locust, 'Purple Robe'	<i>Robinia x ambigua 'Purple Robe'</i>
Japanese Pagoda Tree	<i>Sophora japonica</i>
Oak, Chinquapin	<i>Quercus muehlenbergia</i>
Oak, Cork	<i>Quercus suber</i>
Oak, Escarpment	<i>Quercus fusiformis</i>
Oak, Holly	<i>Quercus ilex</i>
Oak, Texas Red	<i>Quercus buckleyi (texana)</i>
Palo Verde, Foothill	<i>Parkinsonia microphylla</i>
Pine, Mondel (Afghan Pine)	<i>Pinus eldarica</i>
Pine, Stone	<i>Pinus pinea</i>
Pistache, Chinese	<i>Pistacia chinensis</i>
Red Bird of Paradise	<i>Caesalpinia Pulcherrima</i>
Redbud, Eastern	<i>Cercis canadensis</i>
Redbud, Western	<i>Cercis occidentalis</i>
Red Yucca	<i>Hesperaloe Parvifolia</i>
Strawberry Tree	<i>Arbutus unedo</i>
Sumac, African	<i>Rhus lancea</i>
	<i>Ebanopsis ebano</i>
Texas Ebony	<i>(Pithecellobium)</i>
Texas Mountain Laurel	<i>Sophora secundiflora</i>
Texas Olive	<i>Cordia boissieri</i>
Texas Ranger	<i>Leucophyllum frutescens</i>
Texas Umbrella (Chinaberry)	<i>Melia azedarach</i>
Western Hackberry	<i>Celtis reticulata</i>
Xylosma	<i>Xylosma congestum</i>
Yew Pine	<i>Podocarpus macrophyllus</i>



Appendix A (Cont.)

Palms

<u>Common Name</u>	<u>Botanical Name</u>
Mediterranean Fan Palm	<i>Chamaerops humilis</i>
Mexican Blue Palm	<i>Brahea armata</i>
Mexican Fan Palm	<i>Washingtonia robusta</i>
Pindo Palm	<i>Cocos australis</i>
Queen Palm	<i>Cocos plumosa</i>
Sago cycad	<i>Cycas revoluta</i>
Windmill Palm	<i>Trachycarpus fortunei</i>

Palm trees are limited to a total of 5 palms per residential unit.

It is strictly prohibited to plant or grow any plant species that are on Nevada's Noxious Weeds List.

- see NRS 555 for more detail

Plants not on this list must be pre-approved by PUCI.